



CLAGUE ARCHITECTS

**Design and Access Statement**

Proposed Redevelopment  
of Manor Barn Frindsbury to  
Wedding Venue with Accommodation

Clague Ref 29654A  
November 2020 Rev C



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## 1.0 Introduction

1.1 The Historic Buildings team at Clague Architects have been commissioned by the Heritage Design and Development team to produce a Design and Access Statement as part of the documentation for an application for planning and listed building consent for proposed alterations and extension to Manor Barn, including the change of use to a wedding venue and development of the historic courtyard.

1.2 This Design and Access Statement accompanies the full application drawings prepared by Clague Architects and should be read in conjunction with the following specialist reports;

1.3 Heritage Statement and Impact Assessment - C.A.T  
Ecology Report - E.A.D  
Archaeological report - C.A.T  
Landscape - Ares  
Highways - D.H.A  
Planning - D.H.A

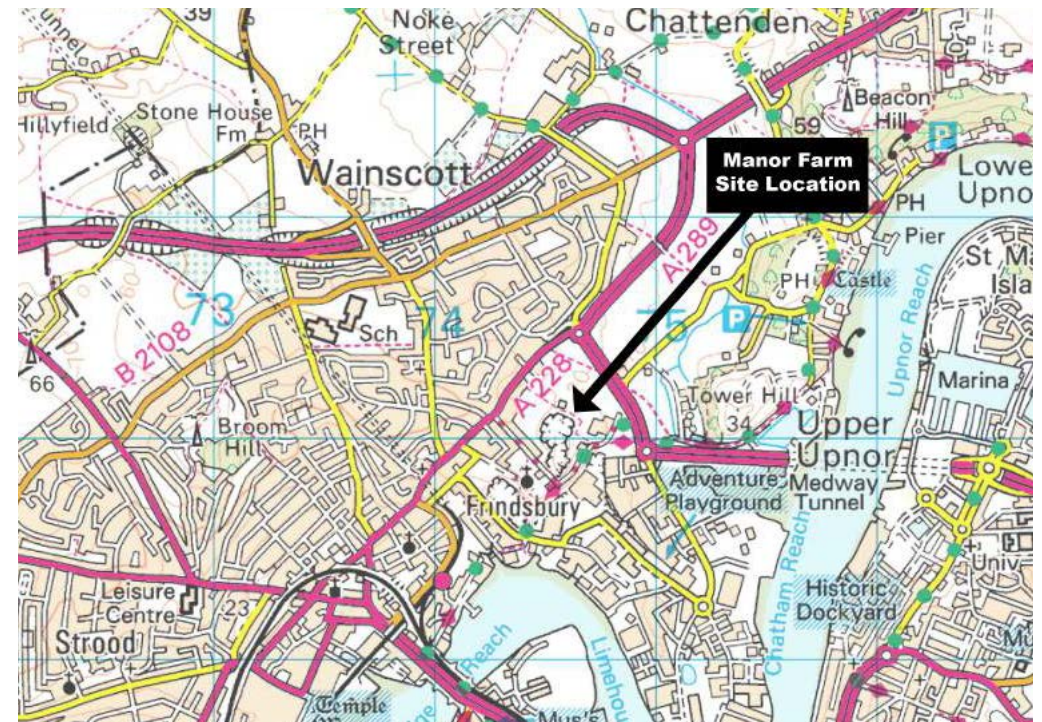


Figure 1 | Map above showing location of Frindsbury, Rochester.



Figure 2 | Map above showing location of Site within Frindsbury, Rochester..

## 1.4 Site Description

1.5 The Manor Farm site is situated in Frindsbury, which lies to the north of Chatham and Rochester in north Kent, see figures 1 and 2.

1.6 The wider site comprises of approximately 20 hectares and is bound by the A289 to the north and east; by the Medway City Industrial Estate to the south east; by Parsonage Lane to the south and by the A228 to the west. The site is at the southern end of the Hogmarsh Valley, which extends northwards channelled between the eastern ridge line of Tower Hill through to Beacon Hill. Access to the site is by Parsonage Lane from Frindsbury Road.

1.7 The site has a varied landform. The northern part of the site is an agricultural field sloping down to a main busy road, Berwick Way.

1.8 Around the barn and the land to the west, the landform is much flatter, being comprised of rough open grassland and brambles, leading up to the perimeter of the disused chalk quarry, which is currently enclosed by a chain link fence. There is a narrow-ramped access that zigzags down to the quarry basin.

1.9 Further to planning consent (MC/10/2068), a new access ramp and temporary haul road has been constructed to enable the quarry to be in-filled with inert material. Currently, the quarry has an overall change in level of approximately 20m from perimeter to floor. The chalk sides are predominantly vegetated as a result of self-seeding. The floor is relatively flat and has been cleared as part of the re filling process.

1.10 The land to the east follows the overall gradient as the rest of the site, falling west to east. The land cover is predominantly overgrown former arable land, now forming a rough grassland and scrub mix. The field boundaries to the south and west comprise dense hedgerows and trees. Groups of mature horse chestnuts can be found along Parsonage Lane / Upnor Road.

1.11 The only water body or watercourse on the site is a newly constructed settlement pond adjacent to Berwick Way that takes the surface water from the temporary haul road.



Figure 3 | Aerial Photograph of Quarry before it was cleared to be re filled.



Figure 4 | View of barn site from footpath to north of site

## 2.0 Site photos and key views

2.1 From the existing group of buildings, it is possible to see the original farmstead layout.

2.2 The fire in 2003 caused massive damage to both the main barn and the cowshed. The first of these has now been beautifully restored back to its former glory.

2.3 The cowshed however is still in a very poor state of repair with a temporary roof and a lot of charred timber still in place.

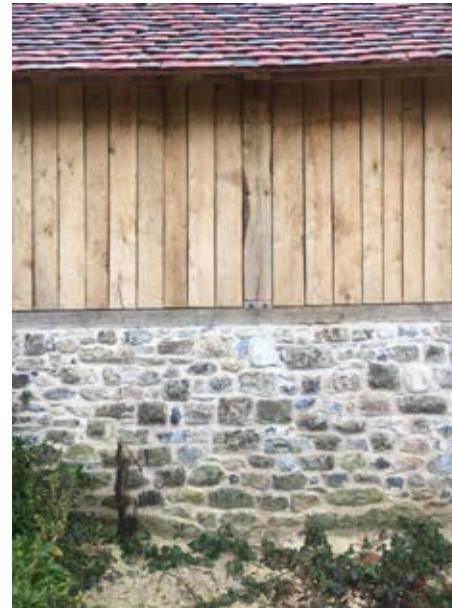


Figure 5 | Re-built end of the barn without final tar finish



Figure 6 | Internal view of cowshed



Figure 7 | Historic End of the barn with black tar finish



Figure 8 | Re-built end of the barn without final tar finish



Figure 9 | Internal view of re-built end of the barn



Figure 10 | Internal view of re-built end of the barn

### 3.0 The Existing Site

#### 3.1 The Barn

3.2 The barn currently has four main entrances, one on the south elevation and three further doors along the eastern elevation. There is evidence that the southern end elevation is not historic and that at various times in the barns history there were additional buildings attached to this end. The restoration of the barn involved a careful archaeological appraisal of the building to enable the appropriate use of historic details and materials for the rebuilding of the northern end. This includes the new doors and window details. At the lower level, the barn is constructed of a solid flint wall with large oak sole plate sitting above. The top half of the wall is a timber frame with oak cladding boards.

3.3 On this historic end of the barn these cladding panels are tarred and so appear black. This is the plan for the rest of the timber too and they have currently been temporarily fixed in position to allow the green oak to shrink before each board is moved up and fixed in its final position. The boards can then be tarred, and the appearance of the barn will be uniform.

3.4 As part of the restoration works the roof was completely re-covered in Kent peg tiles.

#### 3.5 The Cowshed

3.6 Although permission was gained in 2018 to restore the cowshed along with the barn little work has been done to date.

3.7 The cowshed is built against the garden wall of the Manor House and is constructed of yellow Flemish bond brick with a corrugated asbestos roof, gabled at ends. There are three doorways and ten windows on the front, most of the doors and glazing is missing. The Interior has tie beams roof with iron king posts and wooden struts. There are also some interesting window openings which show that the original windows would have had small inward opening sections. The floor is made up of paved concrete with drainage channels. There are also some feeding troughs that have survived and a feeding passage to the rear behind the stalls.

#### 3.9 Quarry

3.10 Much of the proposal site is currently the unused quarry which following permission granted in 2015 is being filled in as part of the wider landscaping scheme.



Figure 11 | External view of barn



Figure 12 | Rebuilt section of barn



Figure 13 | External view of cowshed

## 4.0 Brief History

### 4.1 Overall site

4.2 Frindsbury, called in ancient charters, Freondesbyri named after the manor of that name in this parish. Frindsbury is a village and a parish in Medway Council district, Kent. The village stands on the North Kent railway and, on the Thames, and Medway canal, next to the river Medway, opposite the Chatham dock and only one mile north of Rochester.

4.3 The village adjoins the town of Strood to the North where the ground levels then rise dramatically to form a summit where All Saints Church stands.

4.4 'The parish joins to the river Medway from Stroud, along the shore opposite to Chatham-dock, where, on the hill is a house called the Quarry-house, having a beautiful view over the river, the town, dock-yard, and adjoining country, and till it joins the parish of Hoo, about half a mile below Upnor-Castle northward, all along between the river and the hill are large quantities of flat marshes, overflowed at every high tide.' (The History and Topographical Survey of the County of Kent, Volume 3 By Edward Hasted)

4.5 Frindsbury was given to the Bishop of Rochester by several reigning kings during the Saxon era between the years 764 and 789.

4.6 Within Frindsbury parish, a typical feudal land system developed and there arose four small settlements, viz Frindsbury, Wainscott, Bill Street and Home Street. The word "Street" is a common part of local village names, referring to settlements that developed on either side of a single road. By the end of the 18th Century, most of the land away from the River Medway was still predominantly agricultural and in the hands of only a few landowners, the biggest being the Dean & Chapter of Rochester. Down by the river itself, the Naval Dockyard across the water had exerted a considerable influence on the land use. The Board of Ordnance (forerunners of the War Dept) had taken over some land for the fortifications known as Upnor Castle and a powder magazine serving the warships of Chatham Dockyard. In addition, there were four private shipyards which sub-contracted to the government to produce warships.

4.7 In the general survey of Domesday Frindsbury is described under the title of Terra Epi Rovecesire i.e. the lands of the bishop of Rochester and is recorded as having been taxed at 10 sulungs before 1066 and then at 7 in 1086. There were 15 carrucates of arable land, 5 held by the lord and 11 by the villagers. It supported 40 villagers, 28 smallholders and 9 slaves. There was a mill taxable at 12 shillings (60p), a church, 40 acres (160,000 m<sup>2</sup>) of meadow and woodland for 5 pigs.

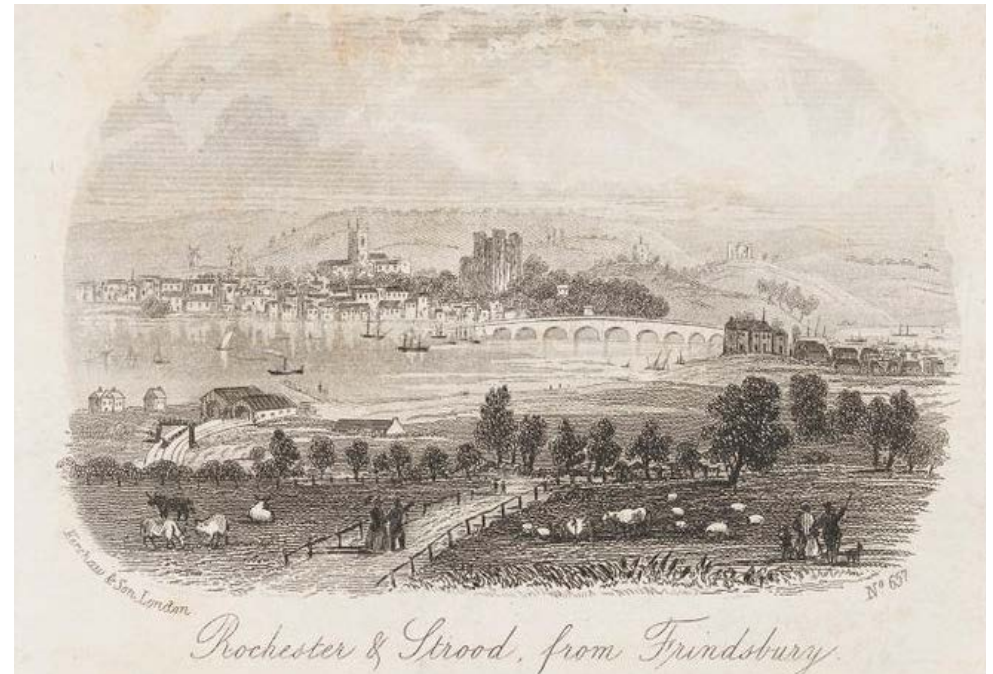


Figure 14 | Rochester & Strood from Frindsbury (mid 19th Century)

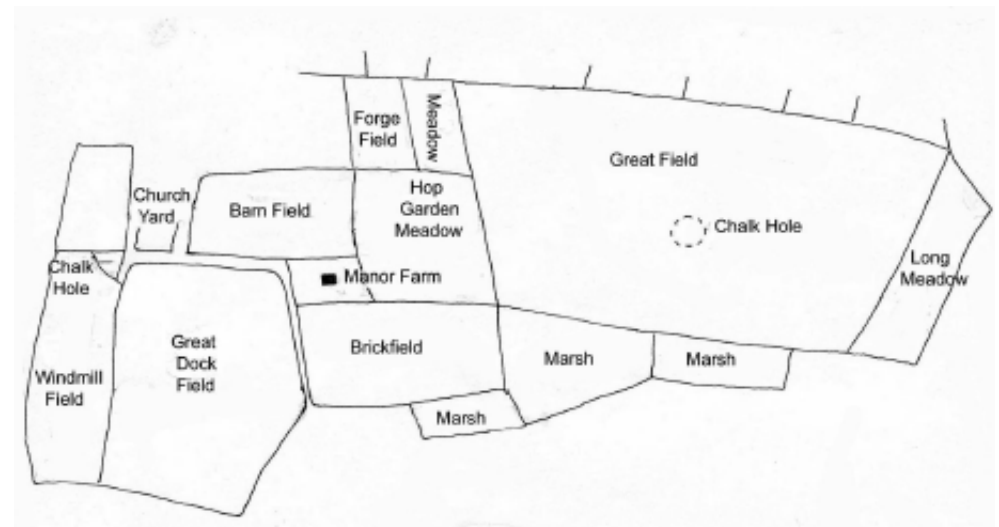


Figure 15 | Map of Manor Farm in 1811

4.8 On the dissolution of the priory of Rochester during the reign of King Henry VIII the manor of Frindsbury along with the manors of Chatindon and Rede Court and other premises in the parish were surrendered along with the other possessions into the king's hands, who presently settled the manor of Frindsbury and Rede Court with other premises in this parish on his new founded dean and chapter of Rochester.

4.9 The first official mention of the Frindsbury Mine was in the 1896 in the Report of the Mines by Inspector C. le Neve Foster. It was in the same year as the mention of the Nursery Brickfield.

4.10 During the latter half of the 19th Century, the area of Frindsbury underwent a minor industrial revolution as more and more land was turned over from agriculture to brickfields and chalk quarries, bringing with it the period of greatest prosperity for the area.

4.11 The War Department bought a large area of land in 1877 to build the Chattenden Barracks, where more ammunition for the warships was stored and a railway built to take it down to the River Medway. By the 1890s, the population had increased to over 5,000 but included in this figure were the troops based at the barracks.

4.12 The parish was now split into 2 parts with the agricultural north and the industrial south and Frindsbury village had grown as more houses were built. The total of 304 houses and cottages in 1842 had increased to 608 by 1871 and 976 by 1891. Unfortunately for the area, it was at this time that the local industries began to decline as brickfields faced competition from other parts of the country.

4.13 By the 1950s, the brickfields in Frindsbury itself had closed. The quarry adjacent to the proposal site was not opened until 1950 when the permission was originally granted on appeal. At this time there was an urgent requirement to rebuild the post war economy and people were looking back at the historical industry of the area.

4.14 A Planning Application to infill the existing disused chalk pit and construct A temporary access road was approved in 2015.

#### 4.15 Manor House

4.16 Manor House is a grade two listed building which has flint rubble construction in part of its foundations which is similar to that of the Manor Barn which has been dated back to 1403. The existing house is part Tudor, part Georgian (circa 1750) with a two room Victorian addition at the back. The Georgian front of the building is south facing, and the house sits within two acres of walled garden in the vicinity of Manor Barn.



Figure16 | Frindsbury Brick (Source: KENT UNDERGROUND RESEARCH GROUP CHALK MINING and associated industries of FRINDSBURY )



Figure 17 | Map of Manor Farm area Mid- 19th Century showing quarries

4.17 The adjoining Manorial Barn and Manor Farm Oast House were all part of Manor Farm at the time that Manor House was the farmhouse, and when the individual properties were sold off.

4.18 This resulted in the Oast House and Manor House sharing the entry drive from Parsonage Lane, with the freehold of the drive owned by Manor Farm Oast House.

#### 4.19 History of Main Barn

4.20 The site was originally demesne land of St. Andrew of Rochester, a foundation for Secular Canons that was later made Benedictine by Lanfranc in 1077. It is thought that the oak framed barn was originally constructed as part of a wider monastic complex in approximately 1403 for the manorial lord (Bishop of Rochester).

4.21 Manor Farm Barn itself is a Grade I listed building noted as being  
'Barn. Circa 1300. timber-framed on high flint plinth and weather-boarded with plain tiled hipped roof. Small skylights to east. Inset wagon entrance with doubled boarded doors at south end and cart enclosure at south end of east side. Interior: fourteen, aisled on both sides and on ends with arcade posts on cills and long curved shores lapped over aisle ties to arcade posts. Wall cills at higher level than arcade cills. Wall plate with reversed assembly to outer walls and two outer posts in each bay pegged alongside each other. Arcade posts with long curved braces to arcade plates and tie-beams, and vertical and horizontal blocking pieces. Plain crown-post, collar-purlin roof with two long curved downward braces and two upward braces each. Collars morticed and tenoned. Finely-cut scarf joints to arcade plates with four face pegs and a key each'.

4.22 'An evaluation in 2005 by Canterbury Archaeological Trust found that extensive foundations for a sprung wooden floor had been constructed at some point in the building's history. In order to make these foundations, the natural chalk was graded, suggesting that deposits relating to the earlier phases, construction, or pre-barn use of the site, have been removed across the footprint of the barn,'

4.23 The medieval footings of the barn have been heavily rebuilt; however, some medieval fabric appears to remain at the north end of building. Some of the rebuilding appears to have occurred in the late eighteenth and early nineteenth centuries, but much occurred during the more recent 1970s restorations.



Figure 18 | aerial photo 1960's from Google Earth

4.24 None of the barn's medieval entrances survive. Inspection of the building would suggest that the barn was served by three midstreys. The evidence is subtle and should not be lost. Modern doors are now present within the midstreys.

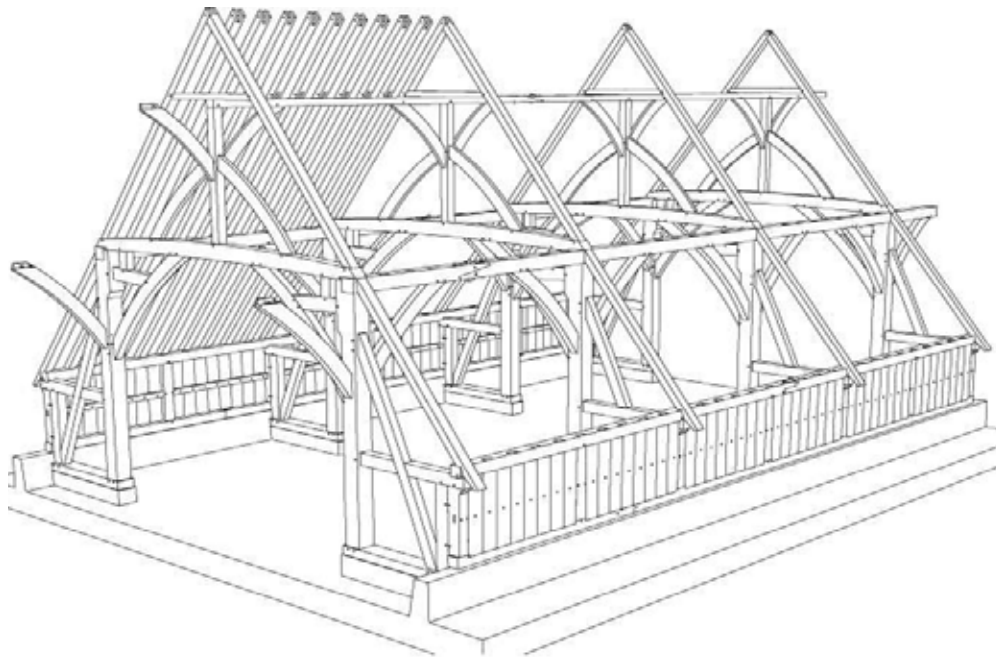
4.25 Further entrances have since been inserted through the barn's elevations, most along the farmyard side, and include a stable door. These date from the late nineteenth century onwards, and whilst they are not therefore of great interest, they nonetheless form part of the barn's history and should not be needlessly altered or destroyed.

## 4.26 Interior Features

4.25 The carpentry of the barn is of the highest standard. The timber-frame is generally typically built for an aisled barn; however, the structure exhibits a number of unusual features, many only associated with early buildings such as vertical weather boards let into grooves and rebates.

4.26 Other more subtle features such as the split and wedged weatherboard pegs are again indicative of quality and should not be overlooked.

Figure 19 | C.A.T - Rupert Austin



**FIG : PERSPECTIVE VIEW OF THREE REPRESENTATIVE BAYS**

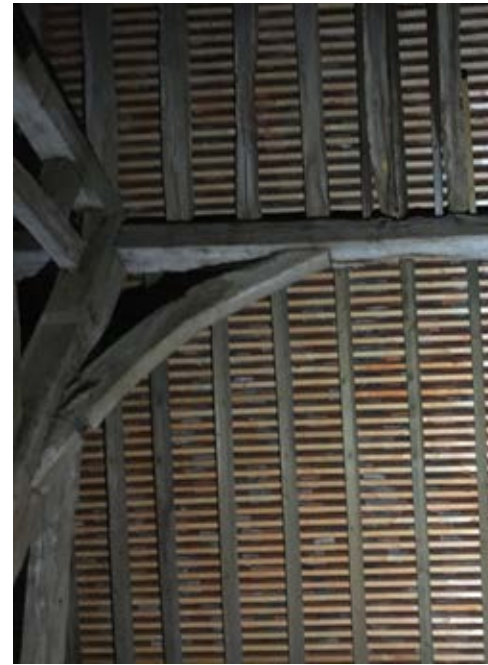
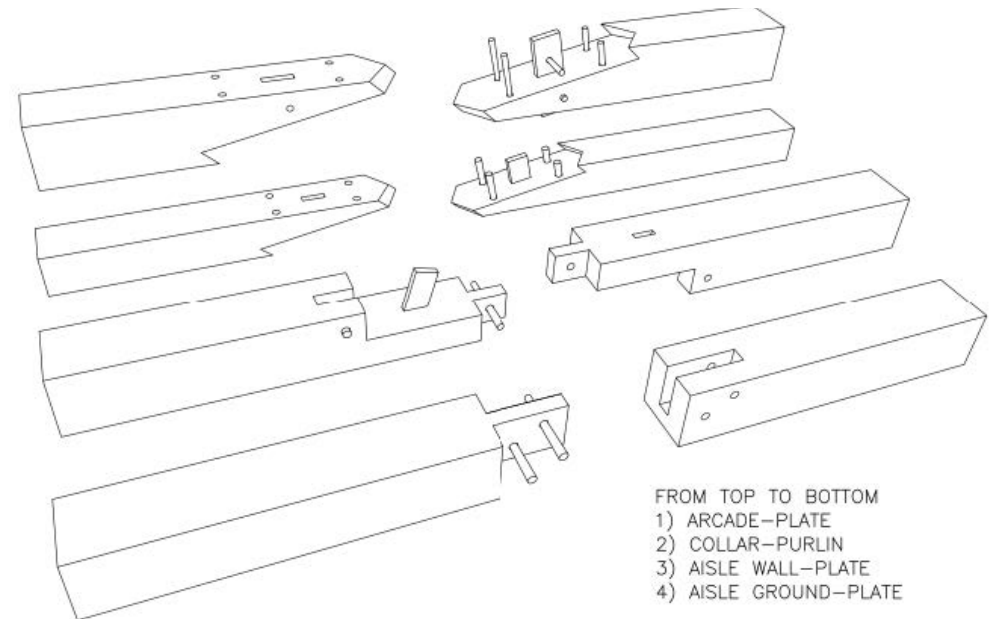


Figure 20 | Historic arcade plate



Figure 21 | Historic bracin



FROM TOP TO BOTTOM  
1) ARCADE-PLATE  
2) COLLAR-PURLIN  
3) AISLE WALL-PLATE  
4) AISLE GROUND-PLATE

Figure 22 | C.A.T - Rupert Austin - Joint details

## 4.27 Fire Damage

4.28 Sadly, the barn was seriously damaged by fire in an act of vandalism in 2003, which completely destroyed a third of the original structure.

4.29 The fire took place on the night of a national fire-men's strike in January 2003, and until then the barn was the longest of Kent's medieval timber-framed barns and the best preserved. Three of its thirteen bays were destroyed and the roof of the fourth collapsed.

4.30 Medway Council called in Canterbury Archaeological Trust to identify, recover, and record as much of the fallen timber as possible in the hope that valuable details, that might be useful if reconstruction were to take place, might survive. This proved to be the case. The discovery of carpenter's numerals within the joints of the timber frame was one of the more interesting observations and explained why none had been visible when the surviving bays of the barn had been examined. From these it was clear that the barn was built from the north-east end, which was consistent with the direction of the scarfs within the structure.

4.31 The northern end of the barn was completely open to the elements and urgently required rebuilding to prevent further deterioration. Since this major incident, the barn has become disused which has made it vulnerable to further attack. Works to secure and rebuild that fire damaged section of the barn have now been carried out.



Figure 23 | Aerial photo post the fire to the northern bays (2003 - google maps)



Figure 24 | North end of the barn post fire



Figure 25 | Aerial Photograph and images of fire damaged barn

## 4.32 Historic Maps Summary

4.33 All of these early maps show the 'U shaped' layout of the original farm buildings with the large tithe barn to the west and a smaller range of buildings to the north east. Interesting they also all show a thinner extension to the south end of the barn which no longer exists.

4.34 The two aerial photographs show the impact of the works to refill the quarry clearing the base of it from vegetation and the implementation of the temporary access road.



Figure 26 | 1865



Figure 27 | 1895



Figure 28 | 1898



Figure 29 | 1906



Figure 30 | 2015



Figure 31 | 2020

## 5.0 Planning Policy

### 5.1 The National Planning Policy Framework

5.2 When determining planning applications, the following paragraphs are pertinent: "189. In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes, or has the potential to include, heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.

5.3 190. Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.

5.4 191. Where there is evidence of deliberate neglect of, or damage to, a heritage asset, the deteriorated state of the heritage asset should not be taken into account in any decision.

5.5 192. In determining applications, local planning authorities should take account of: a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation. b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and c) the desirability of new development making a positive contribution to local character and distinctiveness.

5.6 193. When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or

less than substantial harm to its significance.

5.7 194. Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of:

- a) grade II listed buildings, or grade II registered parks or gardens, should be exceptional.
- b) assets of the highest significance, notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II\* listed buildings, grade I and II\* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.

5.8 195. Where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- a) the nature of the heritage asset prevents all reasonable uses of the site; and
- b) no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and
- c) conservation by grant-funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and
- d) the harm or loss is outweighed by the benefit of bringing the site back into use.

5.10 196. Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

5.11 197. The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgment will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

5.12 198. Local planning authorities should not permit the loss of the whole or part of a heritage asset without taking all reasonable steps to ensure the new development will proceed after the loss has occurred.

5.13 199. Local planning authorities should require developers to record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact, and to make this evidence

(and any archive generated) publicly accessible. However, the ability to record evidence 5.14 of our past should not be a factor in deciding whether such loss should be permitted. Non-designated heritage assets of archaeological interest, which are demonstrably of equivalent significance to scheduled monuments, should be considered subject to the policies for designated heritage assets. Copies of evidence should be deposited with the relevant historic environment record, and any archives with a local museum or other public depository.

5.15 200. Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites, and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably.

5.16 201. Not all elements of a Conservation Area or World Heritage Site will necessarily contribute to its significance. Loss of a building (or other element) which makes a positive contribution to the significance of the Conservation Area or World Heritage Site should be treated either as substantial harm under paragraph 195 or less

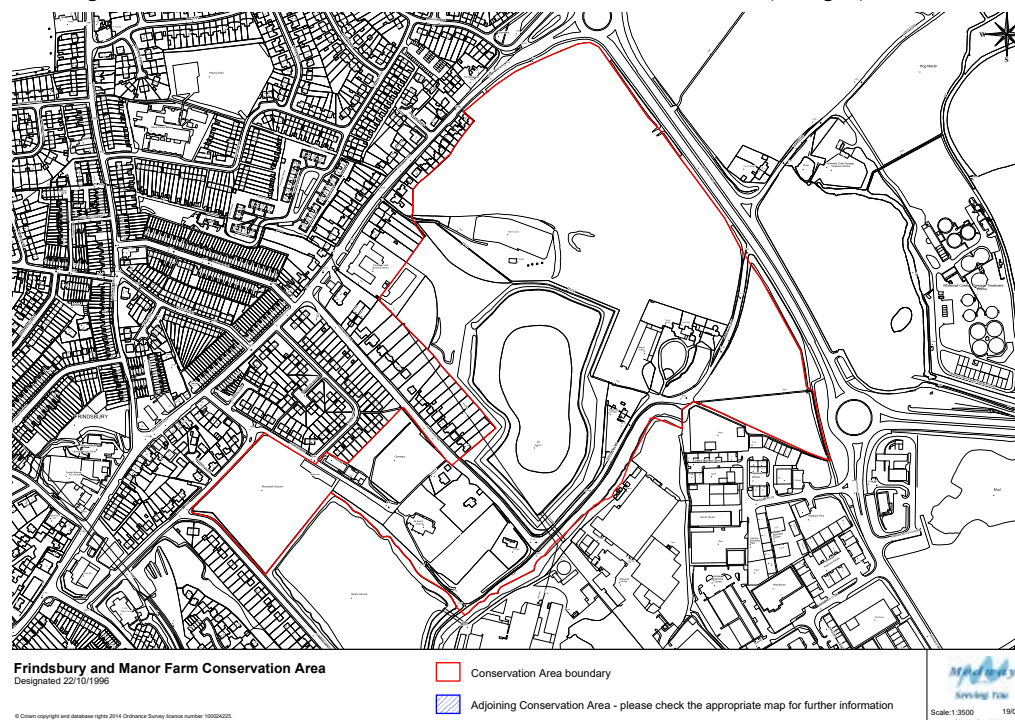


Figure 32 | Map above showing location of Frindsbury Conservation Area

than substantial harm under paragraph 196, as appropriate, taking into account the relative significance of the element affected and its contribution to the significance of the Conservation Area or World Heritage Site as a whole.

5.17 202. Local planning authorities should assess whether the benefits of a proposal for enabling development, which would otherwise conflict with planning policies but which would secure the future conservation of a heritage asset, outweigh the dis-benefits of departing from those policies."

## 5.18 Local Policy

5.19 Policy BE6 (Management of the Historic Environment) in the South East Plan recommends: "Proposals that make sensitive use of historic assets through regeneration, particularly where these bring redundant or under-used buildings and areas into appropriate use should be encouraged."

5.20 Local Plan Policy BNE27 (Re-Use of Buildings in the Countryside) expresses support for development involving the re-use or adaptation of an existing building in the countryside, provided that the design of the building is in keeping with its rural surroundings, the building's character, special features and historic value are not damaged, and the nature, scale and intensity of the proposed use is not detrimental to the amenity or character of the area.

5.21 In the Medway Local Plan Policy BNE18 (Setting of Listed Buildings), importance is clearly given to the historic environment surrounding heritage assets: "The setting of a Listed Building is often an essential part of its character. Historic buildings can lose much of their interest and town-scape value if their surroundings include inappropriate development." Unfortunately, the original setting to the barn was destroyed when chalk was extracted, and the quarry formed. The restoration of the quarry will reinstate the historic landscape, that will then link seamlessly with the existing agricultural land.

5.22 Local Plan Policy BNE14 (Development in Conservation Areas) states that: "Development within Conservation Areas, or affecting their setting, should achieve a high quality of design which will preserve or enhance the area's historic or architectural character or appearance." As the site forms part of the Frindsbury & Manor Farm Conservation Area, the enabling development will be based on traditional architectural styles utilizing traditional building materials. The emphasis on historically accurate architectural details will be an essential element of the finalized scheme.

## 6.0 Development of the site

6.1 The development of the barn is part of a wider master plan which has been discussed for many years.

6.2 The Heritage Design & Development Team Ltd (Heritage Team) owns the 15th century Tithe Barn and surrounding land situated at Manor Farm, Frindsbury, including a disused chalk quarry. The Heritage Team are seeking a planning solution to enable the conversion of the barn to secure a sustainable solution for the long-term preservation of the barn as an important "heritage asset" for the Medway area.

6.3 To meet these objectives, an illustrative master plan has been developed for the entire site, of which this application to convert the barn forms a part to be submitted as a hybrid application seeking full permission for the barn and school and outline for the residential development.

6.4 In order for this application to be understood in context, it is important to fully comprehend the illustrative master plan and how delivery of the project will be achieved from a planning perspective and how it has been developed over a long period of time. Below is a list of the past application listed for the barn site which have been used to ensure the condition of this important historical barn is able to be maintained and restored.

### 6.5 Application to repair barn

|                      |                                                                                                                                                             |
|----------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Reference            | MC/18/1235                                                                                                                                                  |
| Address              | Manor Barn Farm Parsonage Lane Strood Rochester<br>Medway ME2 4UT                                                                                           |
| Proposal             | Listed building application for the reconstruction and<br>restoration of fire damaged Grade I Listed Manor Farm Barn<br>and an ancillary building (Cowshed) |
| Decision             | Approval with Conditions                                                                                                                                    |
| Decision Issued Date | Wed 04 Jul 2018                                                                                                                                             |

### 6.6 Application to fill in the quarry

|                      |                                                                                             |
|----------------------|---------------------------------------------------------------------------------------------|
| Reference            | MC/10/2068                                                                                  |
| Address              | Quarry Parsonage Lane Frindsbury Kent ME2 4UT                                               |
| Proposal             | Application to infill the existing disused chalk pit and construct<br>temporary access road |
| Decision             | Approval with Conditions                                                                    |
| Decision Issued Date | Wed 18 Feb 2015                                                                             |

### 6.7 Applications to repair barn following the fire

|                      |                                                                                                                                                                |
|----------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Reference            | MC/14/0607                                                                                                                                                     |
| Address              | Manor Farm Barn Parsonage Lane Frindsbury Kent ME2 4UT                                                                                                         |
| Proposal             | Listed building application for the reconstruction and<br>restoration of fire damaged<br>Grade I Listed Manor Farm Barn and an ancillary building<br>(Cowshed) |
| Decision             | Approval with Conditions                                                                                                                                       |
| Decision Issued Date | Fri 16 May 2014                                                                                                                                                |

|                      |                                                                                                                                                                |
|----------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Reference            | MC/10/2065                                                                                                                                                     |
| Address              | Manor Farm Barn Parsonage Lane Frindsbury Kent ME2 4UT                                                                                                         |
| Proposal             | Listed building application for the reconstruction and<br>restoration of fire damaged<br>Grade I Listed Manor Farm Barn and an ancillary building<br>(Cowshed) |
| Decision             | Withdrawn by Applicant                                                                                                                                         |
| Decision Issued Date | Thu 05 Aug 2010                                                                                                                                                |

## 6.8 Previous Proposals

6.9 The Future of the barn has been discussed for many years and in consultation with Medway council and Historic England. These schemes and the brief have been refined over the past 10 years and the decision was made that a wedding venue and associated accommodation was the best use of the beautiful historic barn.

6.10 The Heritage Design and Development Team have previously commissioned a number of schemes on the site to develop a sustainable use for the historic barn. These have taken many forms including a wildlife reserve. The decision was made that the best use for the site was as an events/ wedding venue with associated offices, accommodation, and service buildings. Below is selection of images from the early schemes which had a number of large new build elements which included office and parking bays.

Figure 33 | Sketch elevations of entrance courtyard

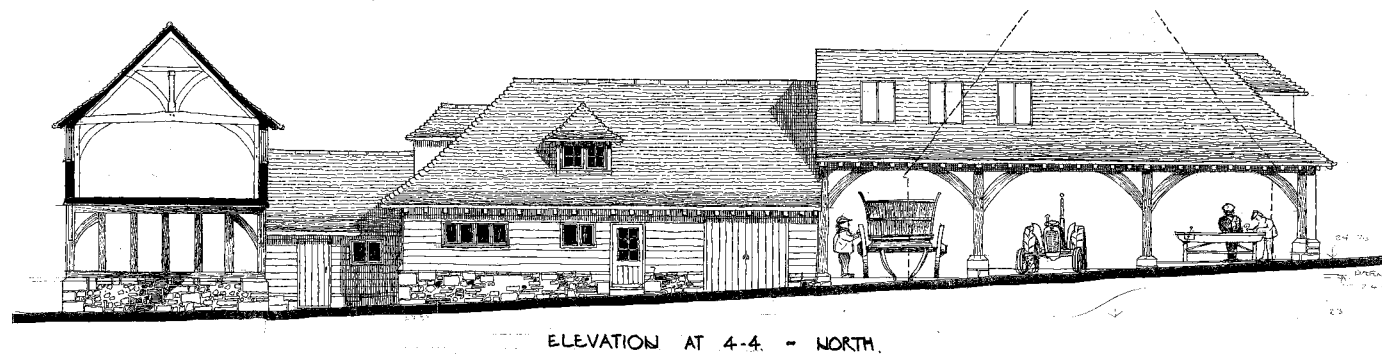
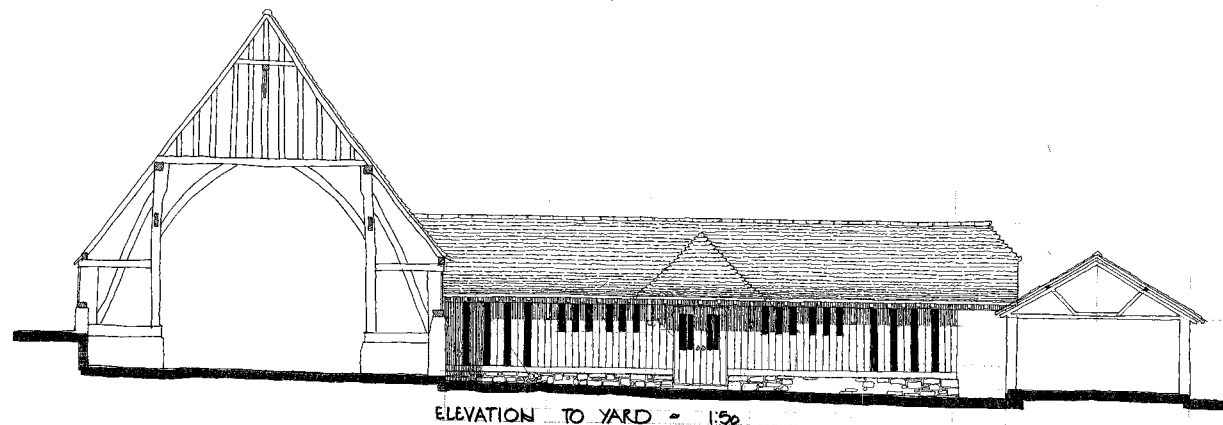


Figure 34 | Sketch elevations of new link to the barn on northern boundary



6.11 A full proposal was developed for a scheme which fully restored the barn, and proposed a selection of smaller new build elements which would be accommodation for guest and serve the main barn as a wedding venue allowing the barn site to compete with local wedding venues. This scheme was agreed in principle and included an extension to the barn which was to be subterranean lessening the impact on the main historic elements of the site.

6.12 The main elements of this scheme have been carried forward into the proposal which accompanies this application. However, it has been further developed to present a scheme that would provide a fully sustainable business case for the site and respect the history of the building and its prior uses.

Figure 35 |Sketch elevations of entrance courtyard

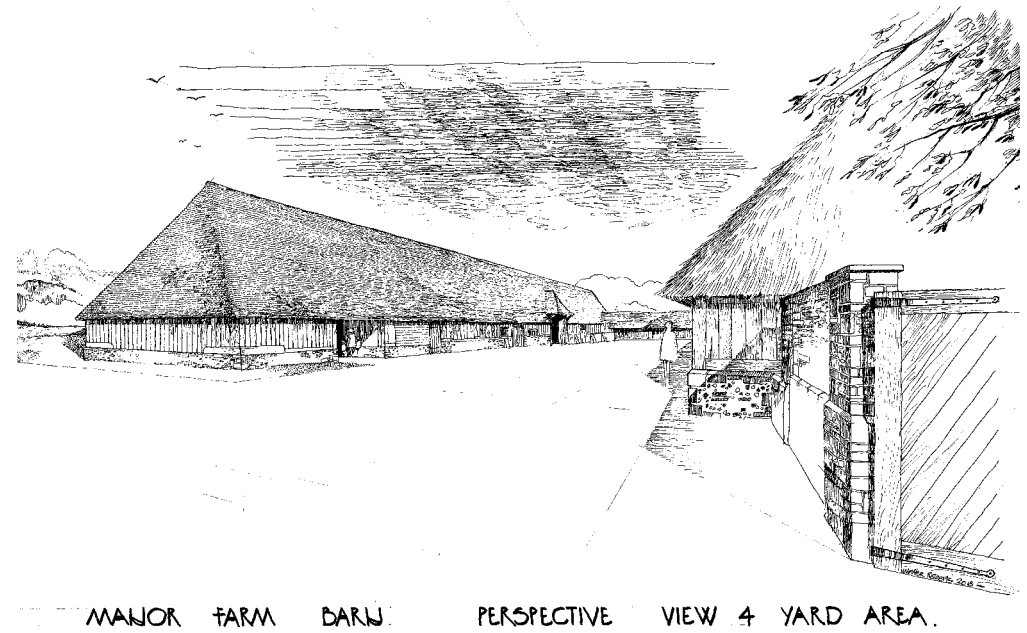
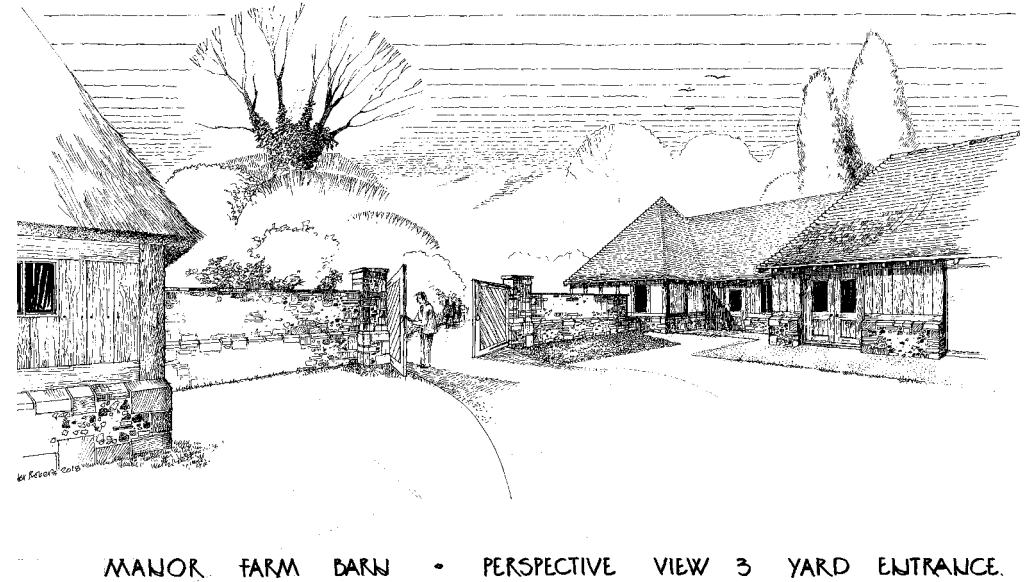


Figure 37 |Sketch elevations of farm courtyard

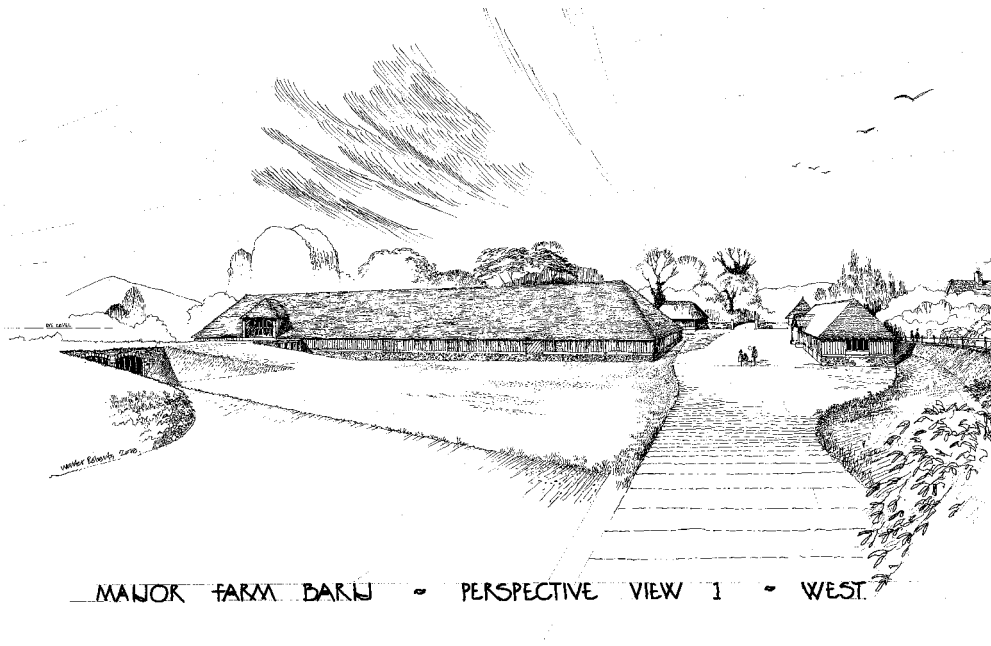


Figure 36 |Sketch elevations of western extension

## 7.0 Development of the Design

7.1 Once a magnificent and complete example of a high-status medieval barn, the building was seriously damaged by fire in January 2003. A third of the entire historic structure, comprising four and a half bays, was completely destroyed. Prior to the major fire, the building had been in agricultural use. However, the damage sustained and the increasing unsuitability of the building to serve modern agricultural practice led to the barn becoming disused and vulnerable to further deterioration.

7.2 Being of such historic significance, the restoration and future conservation of the barn is considered a particularly important and permission was granted in 2018 for the total restoration of the barn and adjacent cow shed . The majority of these works relating to the barn have now been carried out.

7.3 The proposal for the site as a whole is to create a luxury wedding venue that can be used all year round, whilst also providing accommodation for a number of guest and all of the associated service spaces needed. The Barn could also be used for craft fairs, conferences and other large functions.

7.4 The vision is that this venue will be able to compete with local competition by providing a totally unique location or weddings which will be able to be flexible to guests needs depending on what they require for their big day.

7.5 As part of the initial development of this scheme we planned out several 'wedding day scenarios' which included having a winter wedding with the ceremony at the local church and having a summer wedding with the ceremony in the proposed courtyard space and the reception in the barn and new extension. This allowed us to map the movement of people throughout the site in each scenario to ensure that their needs would be catered for.

7.6 These timing and wedding day scenarios are seen opposite. To show the viability of the wedding business throughout the whole year whilst also enabling the design team to analyse how the site and proposed spaces would be used.

7.7 The diagram on the following page shows is design analysis showing the flow of people through the site and how each of the spaces in the barn extension and ancillary spaces would be linked and used by staff and members of the public

Scenario 01 – Summer Wedding ( Church Wedding)

| Time            | Activity                                                 | Location                                                 |
|-----------------|----------------------------------------------------------|----------------------------------------------------------|
| 12:00pm         | Wedding Ceremony ends – Leave Church and Travel to Venue | Frinsbury's Church                                       |
| 12:15pm         | Bridal Party leave church and departs for photographs    | Either at Church or at Barn                              |
| 12:15pm         | Drinks reception with Canapes                            | Farm Courtyard space and Link Building                   |
| 12:45pm         | Couple arrives back from photographs                     | Couple ready to join guests for drinks and canapes       |
| 1:00pm          | Drinks reception, Canapes and Photographs                | Courtyard space and Link Building                        |
| 2:00pm          | Seat guests for wedding breakfast                        | New Extension                                            |
| 3:30pm          | Start speeches and serve dessert                         | New Extension                                            |
| 4:30pm          | Drinks and Mingling                                      | Refurbished east end of Barn, courtyard and link         |
| 5:30pm          | Couple cuts the cake                                     | Refurbished east end of Barn                             |
| 6:30pm – 7:00pm | Evening guests arrive                                    | Enter reception area from courtyard.                     |
| 7:00pm          | First dance and band starts                              | Refurbished east end of Barn ( dancefloor )              |
| 9:00pm          | DJ begins, and late-night food is served                 | Refurbished east end of Barn                             |
| 11:30pm         | Couple Send off                                          | Courtyard                                                |
| 12:00am         | Music Finishes                                           | Guests and traffic to leave site – No Music beyond 12am. |

Scenario 02 – Winter Wedding ( Church Wedding)

| Time            | Activity                                                 | Location                                                                                            |
|-----------------|----------------------------------------------------------|-----------------------------------------------------------------------------------------------------|
| 12:00pm         | Wedding Ceremony ends – Leave Church and Travel to Venue | Frinsbury's Church                                                                                  |
| 12:15pm         | Bridal party leave church and departs for photographs    | Inside historic end of barn or elsewhere                                                            |
| 12:15pm         | Drinks reception with Canapes                            | Refurbished east end of Barn, courtyard and link                                                    |
| 12:45pm         | Couple arrives back from photographs                     | And joins guest in reception area. Either arrive through historic barn or direct through barn doors |
| 1:00pm          | Drinks reception, Canapes and Photographs                | Refurbished east end of Barn, courtyard and link                                                    |
| 2:00pm          | Seat guests for wedding breakfast                        | New Extension                                                                                       |
| 3:30pm          | Start speeches and serve dessert                         | New Extension                                                                                       |
| 4:30pm          | Drinks and Mingling                                      | Refurbished east end of Barn, courtyard and link                                                    |
| 5:30pm          | Couple cuts the cake                                     | Refurbished east end of Barn                                                                        |
| 6:30pm – 7:00pm | Evening guests arrive                                    | Enter reception area from courtyard or historic barn                                                |
| 7:00pm          | First dance and band starts                              | Refurbished east end of Barn ( dancefloor )                                                         |
| 9:00pm          | DJ begins, and late-night food is served                 | Refurbished east end of Barn                                                                        |
| 11:30pm         | Couple Send off                                          | Courtyard                                                                                           |
| 12:00pm         | Music Finishes                                           | Guests and traffic to leave site – No Music beyond 12am.                                            |

Scenario 03 – Summer Wedding ( Manor Barn Wedding)

| Time            | Activity                                                       | Location                                                    |
|-----------------|----------------------------------------------------------------|-------------------------------------------------------------|
| 12:00pm         | Wedding Ceremony ends                                          | Courtyard Space                                             |
| 12:15pm         | Bridal party leave and departs for photographs                 | Either at barn or other location.                           |
| 12:15pm         | Drinks reception with Canapes ( changeover of courtyard space) | Farm Courtyard space and Link Building                      |
| 12:45pm         | Couple arrives back from photographs                           | Couple ready to join guests for drinks and canapes          |
| 1:00pm          | Drinks reception, Canapes and Photographs                      | Courtyard space and Link Building or reception area if wet. |
| 2:00pm          | Seat guests for wedding breakfast                              | New Extension                                               |
| 3:30pm          | Start speeches and serve dessert                               | New Extension                                               |
| 4:30pm          | Drinks and Mingling                                            | Refurbished east end of Barn, courtyard and link            |
| 5:30pm          | Couple cuts the cake                                           | Refurbished east end of Barn                                |
| 6:30pm – 7:00pm | Evening guests arrive                                          | Courtyard and Reception area                                |
| 7:00pm          | First dance and band starts                                    | Refurbished east end of Barn ( dancefloor )                 |
| 9:00pm          | DJ begins, and late-night food is served                       | Refurbished east end of Barn                                |
| 11:30pm         | Couple Send off                                                | Courtyard and reception area                                |
| 12:00pm         | Music Finishes                                                 | Guests and traffic to leave site – No Music beyond 12am.    |

Figure 38 | Alternative options for the venues use in winter and summer

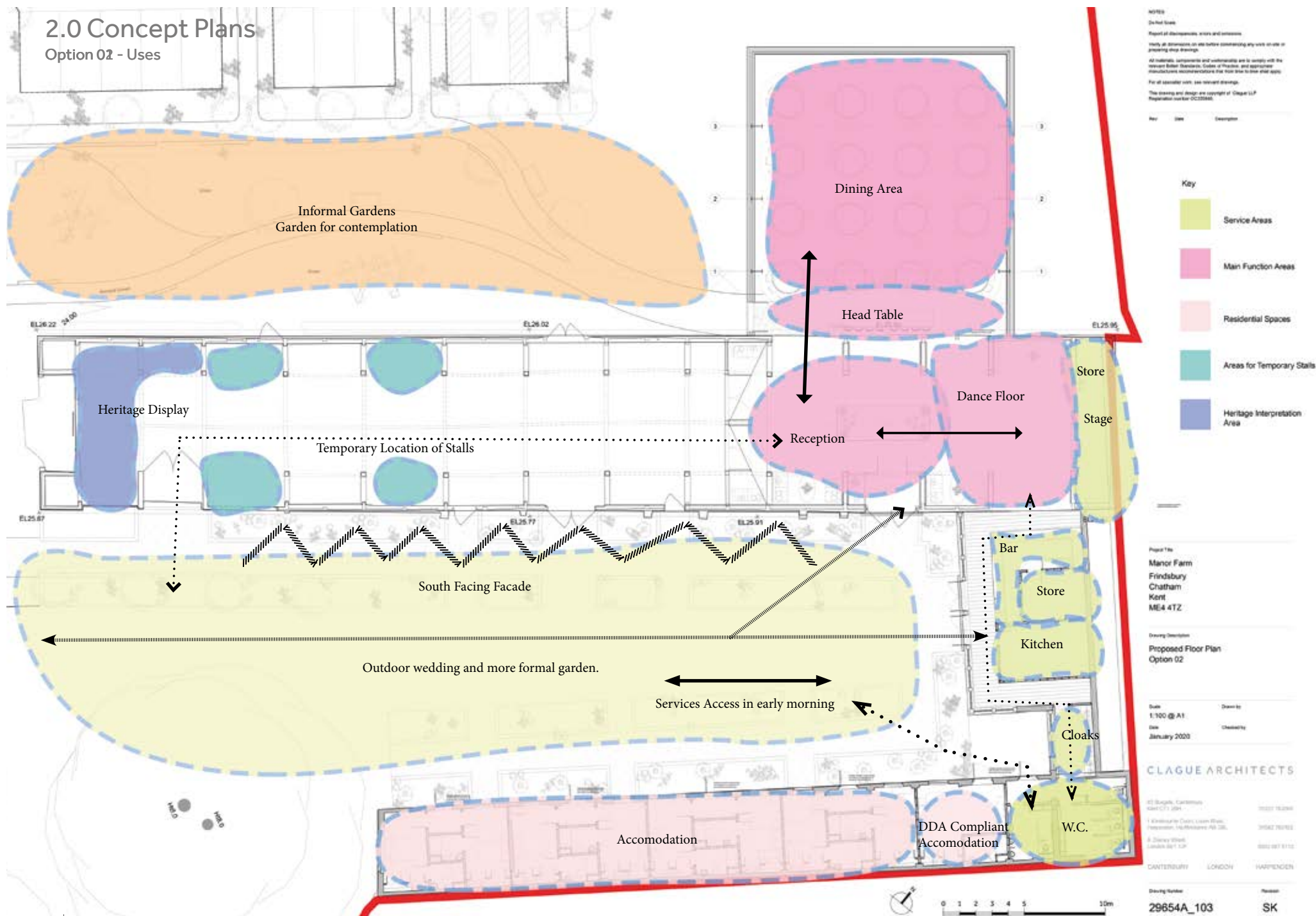


Figure 39 | Initial concept drawings for the barns re-use  
20

## 7.8 Consultation

7.9 Throughout the design process there has been a close consultation with Historic England and Medway Conservation department. This has been an extremely useful process as it has enabled the design to develop with input from all parties.

7.10 The site plan on the right refers to an older version of the scheme which show a lower building sunken further into the ground and shows a straight exit path to the southern end of the site. Following discussions with the consultees the decision was made to raise the extension to maximize the indoor space.

7.11 As seen on the site plan opposite earlier designs had a path straight out from the extension to the path at the south of the barn. Consultation with Historic England and the conservation officer emphasised that retaining the courtyard space and the sequence of guests entering the space was important and the exit path as shown opposite could be confusing.

7.12 This consultation process was also very important when discussing the glazed screen which could potentially have been a controversial addition to the historic fabric.

7.13 Historic England felt that the size and scale of the barn could accommodate the contemporary addition and it was most honest to approach the design of the screen with modern construction techniques which has been followed through with the designs and structural engineering process.

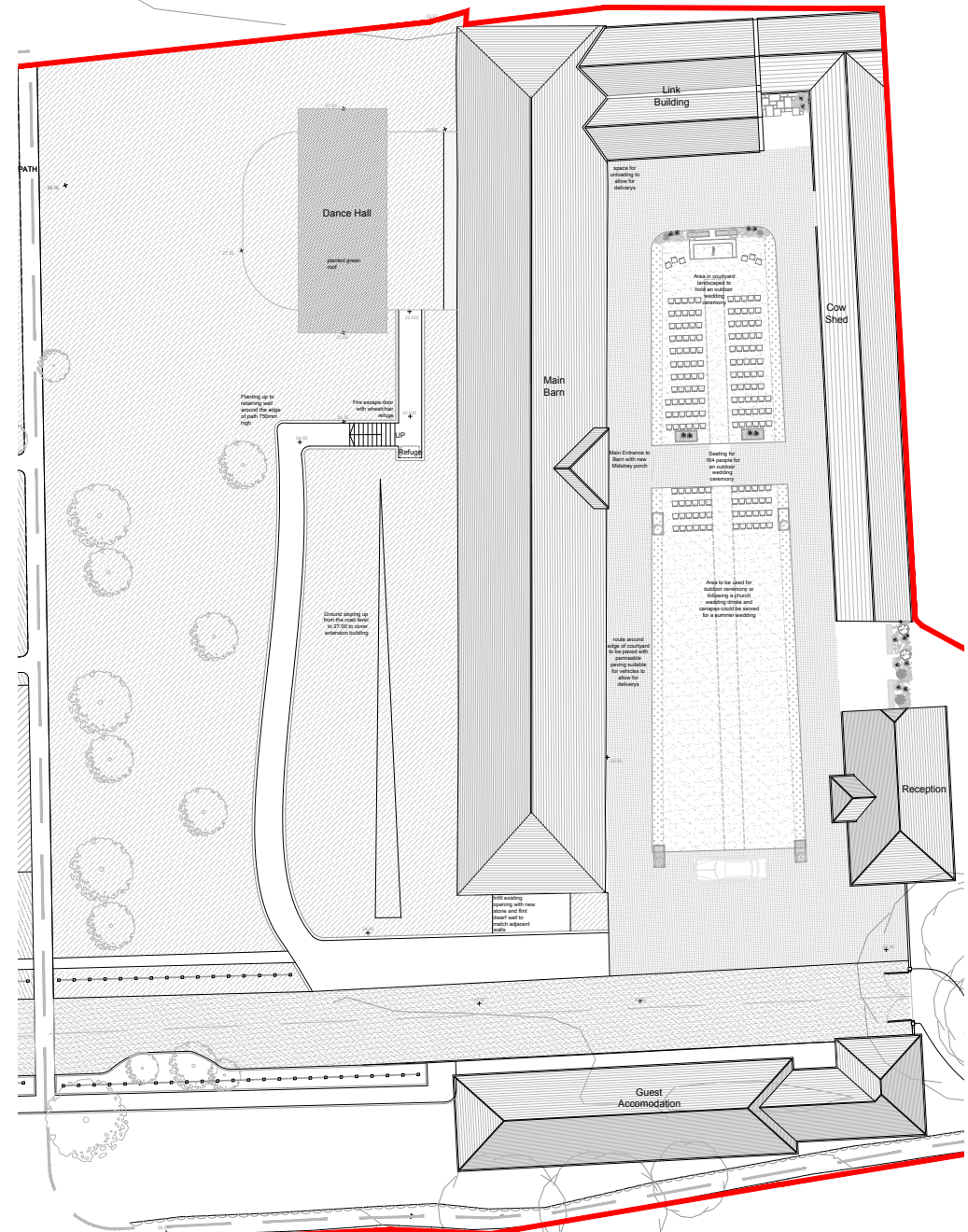


Figure 40 | Initial Site Plan

## 7.14 Business Case Precedents

7.15 A business case is developed during the early stages of a project to establish the viability of the project. In order to make the proposals viable for running as a wedding we looked at Local precedents to analyse how the spaces are used.

7.16 The design team were able to look at the potential benefits, disadvantages, costs, and risks of the precedent venues to ensure that the proposals would be suitable.

7.17 Below are two of the local precedents that were analysed.

### Wedding Venues

#### Winters Barn

Winters Farm, Nackington Road, Canterbury, Kent.

- Flexible space, with three adjoining rooms available.
- Different wedding packages to suit different budgets
- Exclusive use of the barns and grounds, for ceremony and reception.
- Accommodate up to 150 for a ceremony and 200 in the reception room.
- Only hold one wedding per day, maximum 2 per week.



#### Cooling Castle

Cooling Barn, Cooling, Rochester, Kent.

- Weddings can be held in the Fathom Barn or outside in the Pavilion, with the option of an outside Ceremony.
- Different wedding packages to suit different budgets
- 160 for the seated wedding breakfast and 250 for the evening function.
- Exclusive Use of the Venue on Wedding Day



## 8.0 Final Proposals

### 8.1 The Barn ( Existing Building refurbishment and wedding venue)

8.2 The refurbishment of the barn has been beautifully done recently winning an award at the Wood Awards 2020 for best commercial and leisure building. It is however not suitable a space to hold large events. The proposals are to divide the barn into two separate spaces. The first will be in the historic end of the barn where the design is more sensitive. This space will be left unheated and is to be used as a function space for craft fairs etc. or as a drinks/mingling area for weddings guests when needed. The proposal is to lay a new limecrete floor down the central aisle of the barn which will provide a more even surface so this space will become more usable whilst reducing the intervention to the historic fabric.

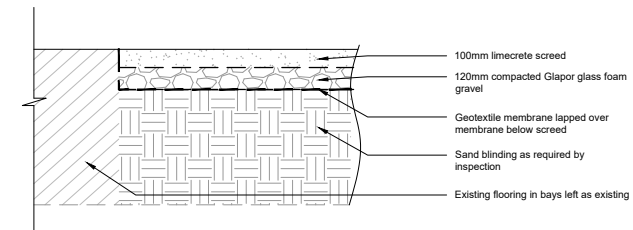
8.3 A contemporary glazed screen will then act as a divider between this space and the wedding reception space. The proposals are to use the refurbished end of the barn as wedding reception space and the areas where tables could be set out and food served to guests. This space will be insulated and have a new limecrete floor with underfloor heating below. This will create a warm and inviting area for wedding guests to enjoy meals, speeches etc.

8.4 The general principle of the scheme for the barn is to celebrate the barn and the wonderful 'cathedral' like space it creates whilst intervening only where necessary to make the space suitable for large gathering thus enabling more people to enjoy it and securing its future. We have prepared details as part of this application which show that the treatment for the walls and ceiling will be to insulate within the timber frame and so accentuate the historic structure. The lower levels of the walls will remain as they are, paving stones and a French drain will be installed around the perimeter of the barn.

8.5 At present the barn is not completely waterproof and so the proposal includes the removal of the tiles over the 'warm' end of the barn, and a Type 1 F waterproof felt laid over the rafters before reinstatement of the tiles. This will not present any visible change from the outside but will allow the wedding venue end of the barn to be fully watertight.

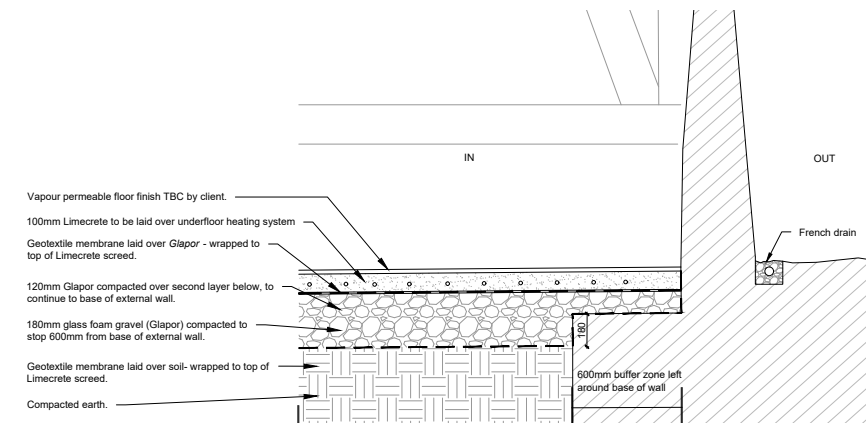
8.6 From the exterior the barn will look very much the same as it does now. The analysis of movement of people around the site has highlighted that the access door needs to be accentuated. Historic analysis has determined that there was once a midstrete in the central position on the courtyard elevation. The proposals show this midstrete to be re-instated creating a grand entrance to the barn. The introduction of this new door enables the low quality, modern door on the end of the barn to be removed. This will greatly improve this elevation of the barn restoring it to its historic form.

Figure 42 | Limecrete floor detail in historic end of barn



**Limecrete Floor detail central aisle  
Historic end of Manor Barn**  
Scale 1:20 @ A3

Figure 43 | Limecrete floor detail in rebuilt section of barn



**Limecrete Floor and Wall Detail - New end of Manor Barn**  
Scale 1:20 @ A3

8.7 The Glazed Screen dividing the two space will be steel framed and double glazed. It has been designed in a contemporary way as the design team felt it wasn't appropriate to hide the structure of the screen and the size of the barn and scale of the timber used to construct it can stand up to having a steel frame inserted into it.

8.8 The screen as been cleverly engineered so it is mostly an independent structure allowing for the wind load and potential movement of the historic barn. When inserting a contemporary feature into a historic space it is important to consider the impact that it will have on the historic structure and minimise any harm done to the original fabric.

8.9 By creating a glazed division between the two spaces the guests will be able to enjoy the full impact of the barn along its whole length whilst enjoying a warm space in the converted end.

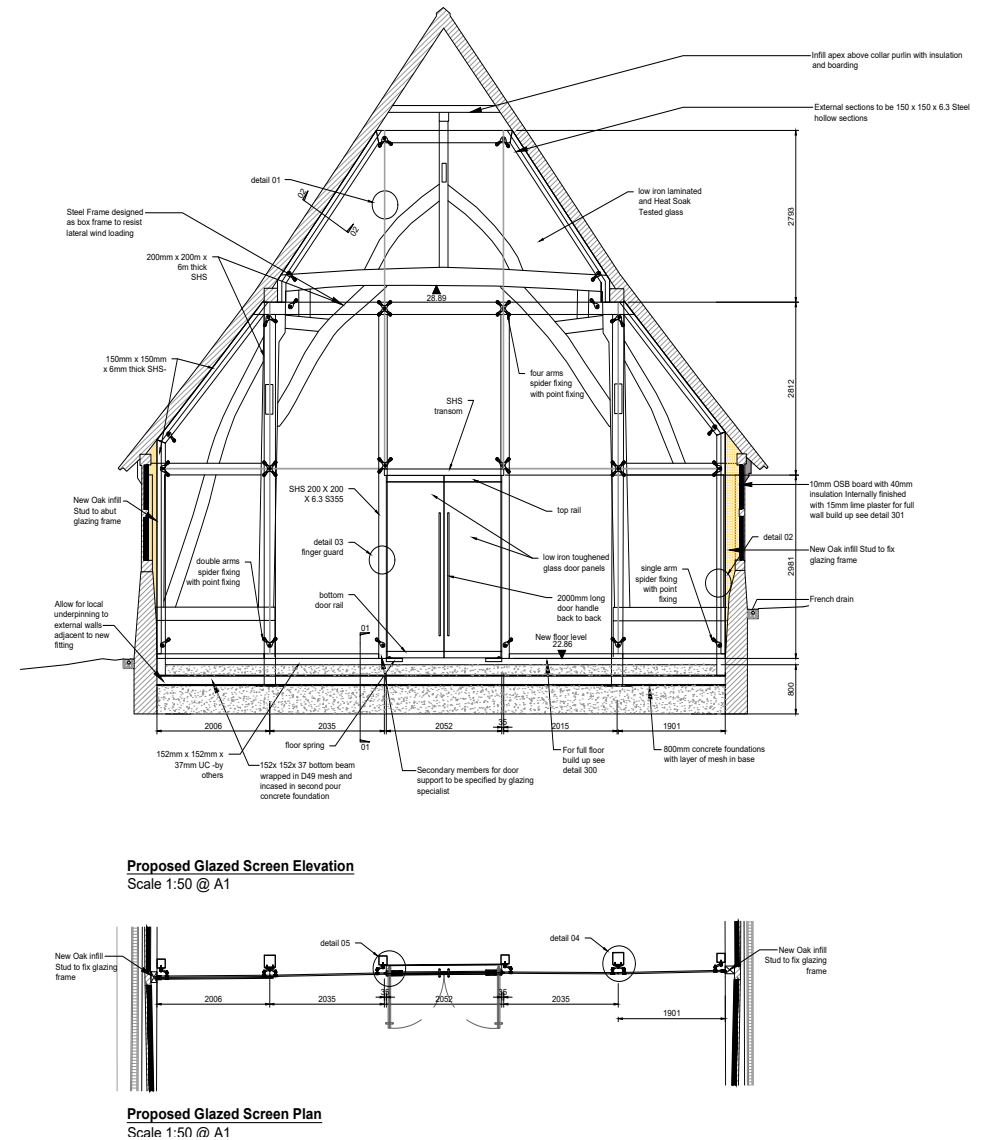


Figure 44 | Detailed elevation and plan of proposed screen



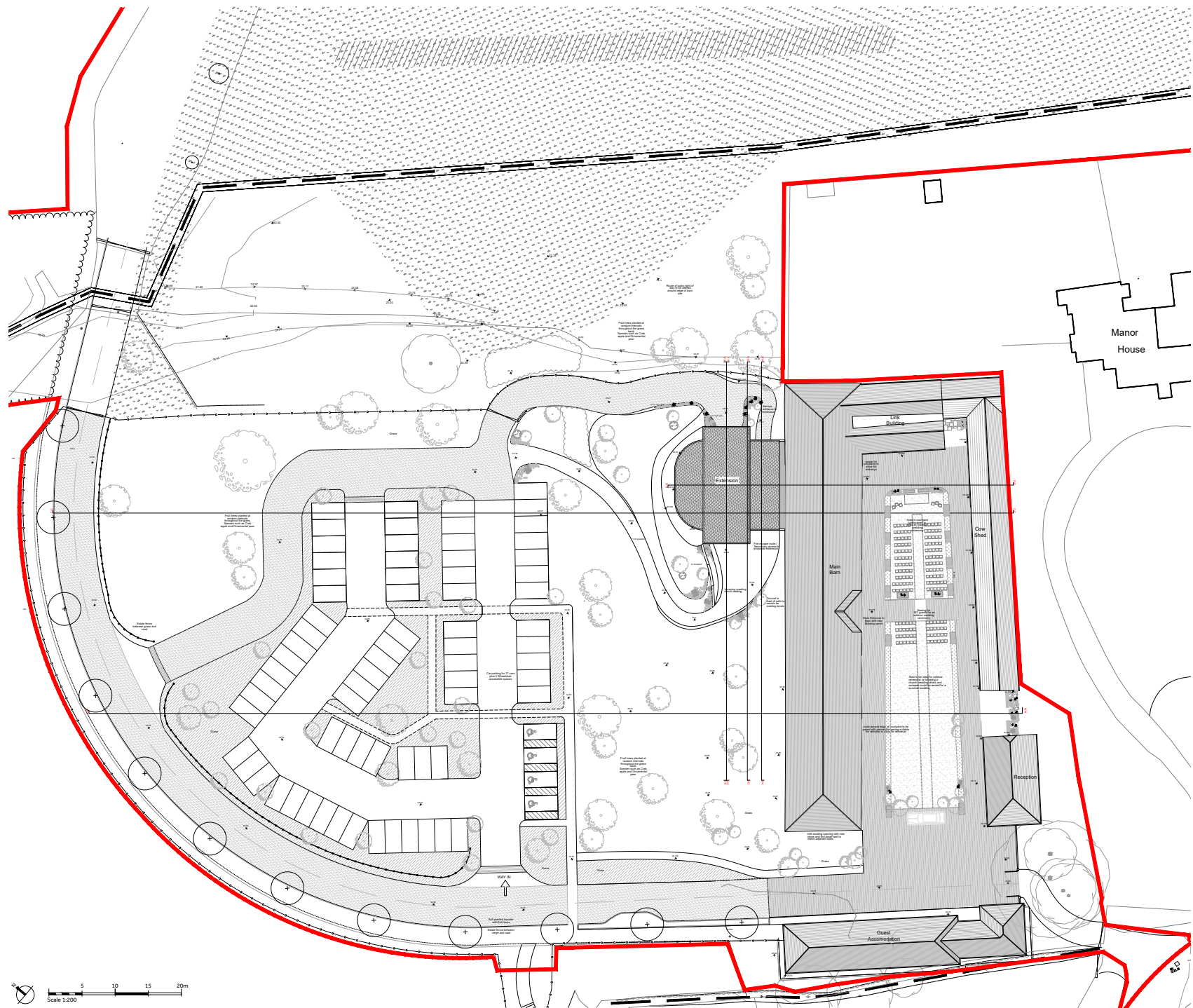
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Figure 45 | CGI of glazed screen from wedding function end of the barn



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Proposed Site Plan



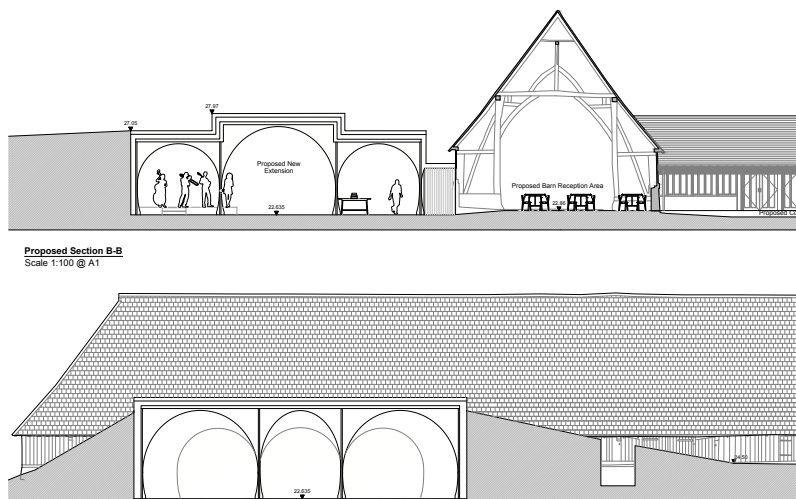
## 8.10 The Extension ( New Build )

8.11 In order to provide a large 'function room' space for weddings the decision was made to extend the barn to the west and create a new contemporary extension alongside the historic barn. The proposal is for this space to provide a dance floor and an area for a band/ DJ and socializing space for wedding guests. The fact that these functions are being held in the new extension means the building can be acoustically and thermally designed to perform to modern standards.

8.12 When designing a new extension that will sit up against and interact with a space so impressive as the barn it was important to make the extension different in design terms but take reference from history and the existing barn where possible. The proposal is to form a timber vaulted space which will create the wow factor needed whilst also drawings on references from the materials and history of the barn, as it was built and owned by the diocese of Rochester. The entrance to this space will be through the fourth bay of the barn and so will mostly be removing modern fabric. Guests will enter through a glazed lobby space into a spacious dance floor area. There are proposed to be two large windows one in each of the central sections of the barn.

8.13 An exit route it proposed through the this extension to allow guests exiting the building and direct them directly to the car park , rather than back into the courtyard space close to the neighbouring properties. The route will lead to a curving path back to the car park.

Externally the extension will be largely hidden from long range views. This will be achieve by setting the new build lower than the existing barn and ramping the earth up the edge of the building.



8.14 We have used several precedents to aid in the design of this space and the images shown on the following pages are the two which have been the most relevant.

## 8.15 Extension Design process and development

8.16 The design team worked through a number of options before the current proposals were decided upon. The original concept of the extension was to create a crypt like space using contemporary materials. The team tried out different curve shapes initially trying a regular semi circular dome shown in the sectional image below.

8.17 A structural engineer was appointed early on in the process to ensure that the designs were structurally possible. The CGI below is an early images showing the idea of having no columns in the inside space to allow a completely open dance floor space. This idea was possible but was later discarded in favor of having slim columns to divide the space.

8.18 The height of the extension in the landscape was key to getting the extension to sit comfortably alongside the barn. Originally the building was set lower in the landscape with the western third of the building being completely level with the landscape. This led to an indoor space that seemed disappointing as it was too low. The decision was made to raise up the building and design it elevationally to sit alongside the extension, using materials that complimented the barn and meaning the inside space gives the wow factor that the client wants.



## 8.19 Contemporary Design Precedent

8.20 Wildernesse Restaurant\_ Morris and Co  
The timber-vaulted, metal-skinned pavilion forms part of the Wildernesse House. Sevenoaks

### Key Points

- Timber vaults sit atop a grid of columns, creating a rhythm of arches,
- Minimal repeated elements
- Elegant internal finish
- Contemporary construction techniques



Figure 49 | Wildernesse Restaurant internal image



Figure 50 | Architects concept model

## 8.21 Historic Design Precedents

8.22 Cathedral Crypts \_ Canterbury Cathedral and Rochester Cathedral

### Key Points

- High stone vaults on a regular grid of columns, creating a rhythm of arches,
- Minimal repeated elements
- Elegant internal finish
- Grand imposing structure
- Traditional construction techniques



Figure 51 | Canterbury Cathedral Crypt



Figure 52 | Rochester Cathedral Cathedral Crypt



Figure 53  
Sedum Roof



Figure 54  
Corten Steel  
cladding



Figure 55  
Rammed Earth Finish layered  
pigmented concrete

## 8.23 Proposed materials palette

8.24 To the left are images of the proposed materials for the extension.

8.25 The elevation treatment is proposed to be a rammed chalk effect to the lower portion of the building as if it has been dug out of the earth and the top portion is to be corten steel sheets which once installed should reflect the colour of the Kent peg tiles and help the new extension to sit harmoniously alongside the historic barn whilst also making clear it is a modern intervention.

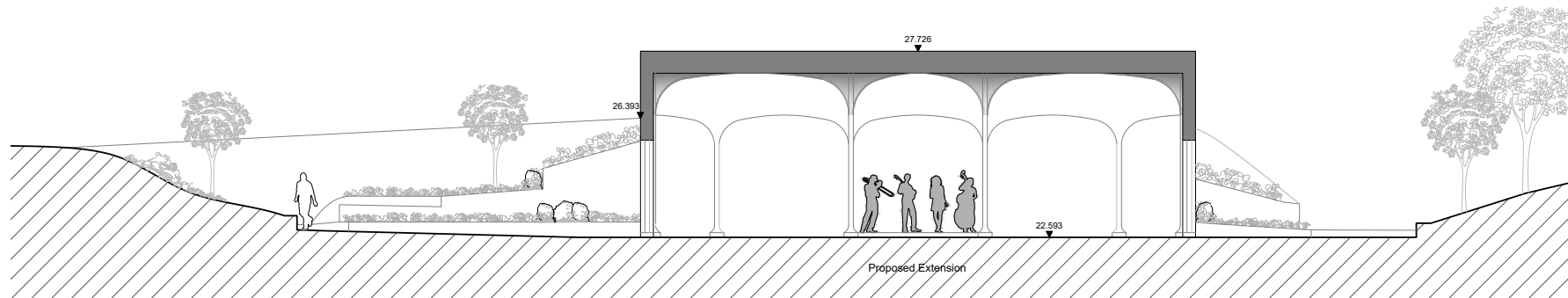
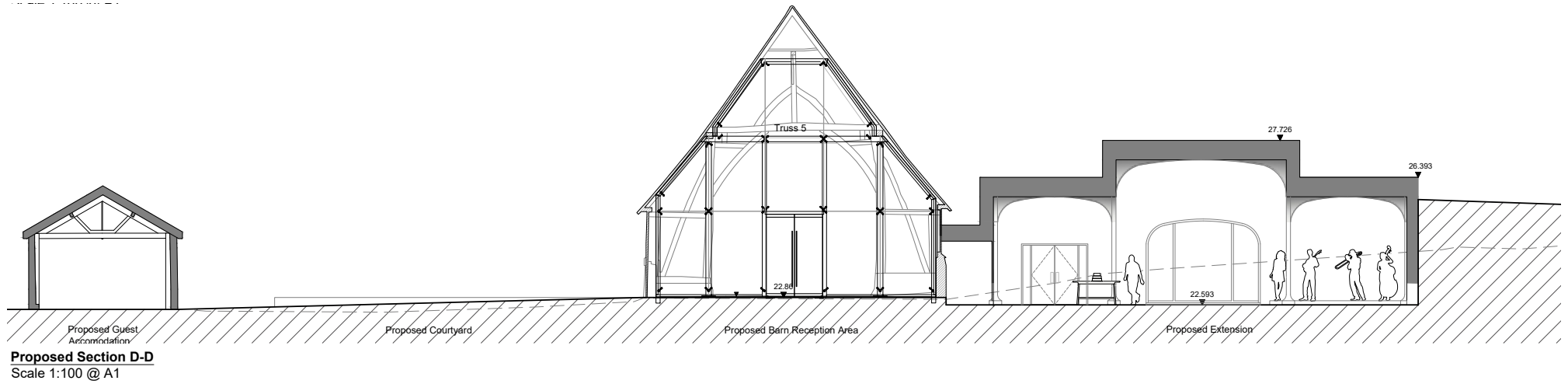


Figure 56 | Final proposed sections

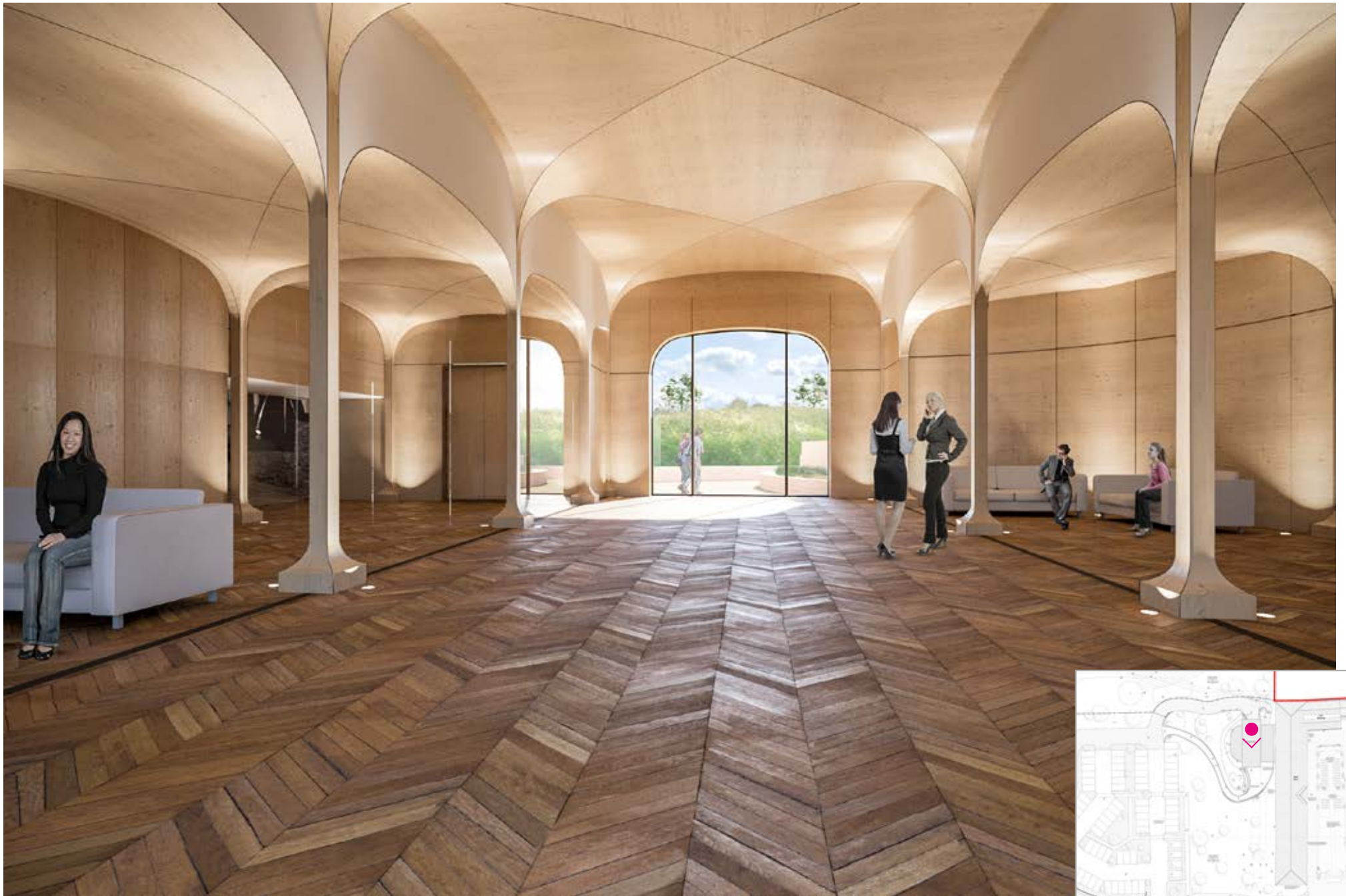


Figure 57 | CGI of extension internal space

## 8.26 The Link Building (new build bar and kitchen area)

8.27 There is historical evidence that there had been a building in the area of our proposed 'link' building. The proposals are for a single storey brick building with timber windows to run along the end of the site linking the cow shed to the barn. This building will house the bar area, a prep kitchen and store along with cleaners' store and WCs. There is proposed to be large areas of traditional style timber framed glazing giving a good connection out to the courtyard space.

8.28 The pitched roof of the majority of this link will be divided into two Kent peg ridges which intersect with the barn roof. This will keep the pitches low as to not be overbearing on the barn. The small narrower section of the extension will be slate roofed and link round to join the cow shed roof tying in the new form in with the existing historic building forms.

8.29 The Cowshed ( existing building refurbishment to guest accommodation).

8.30 The proposals for the cowshed are to repair and convert the existing structure to be guest accommodation and a staff room.

8.31 The remains of the historic building show that it was brick built with timber windows and a slate roof, although it currently has a tin /asbestos roof. The proposals are to reflect the original appearance of the building using brick to match the existing and timber framed windows and doors.

8.32 Each of the guest rooms in the conversion is to be a double en-suite room and there are nine in total plus a small en-suite staff bedroom to be used by any over night staff that are needed by the venue.

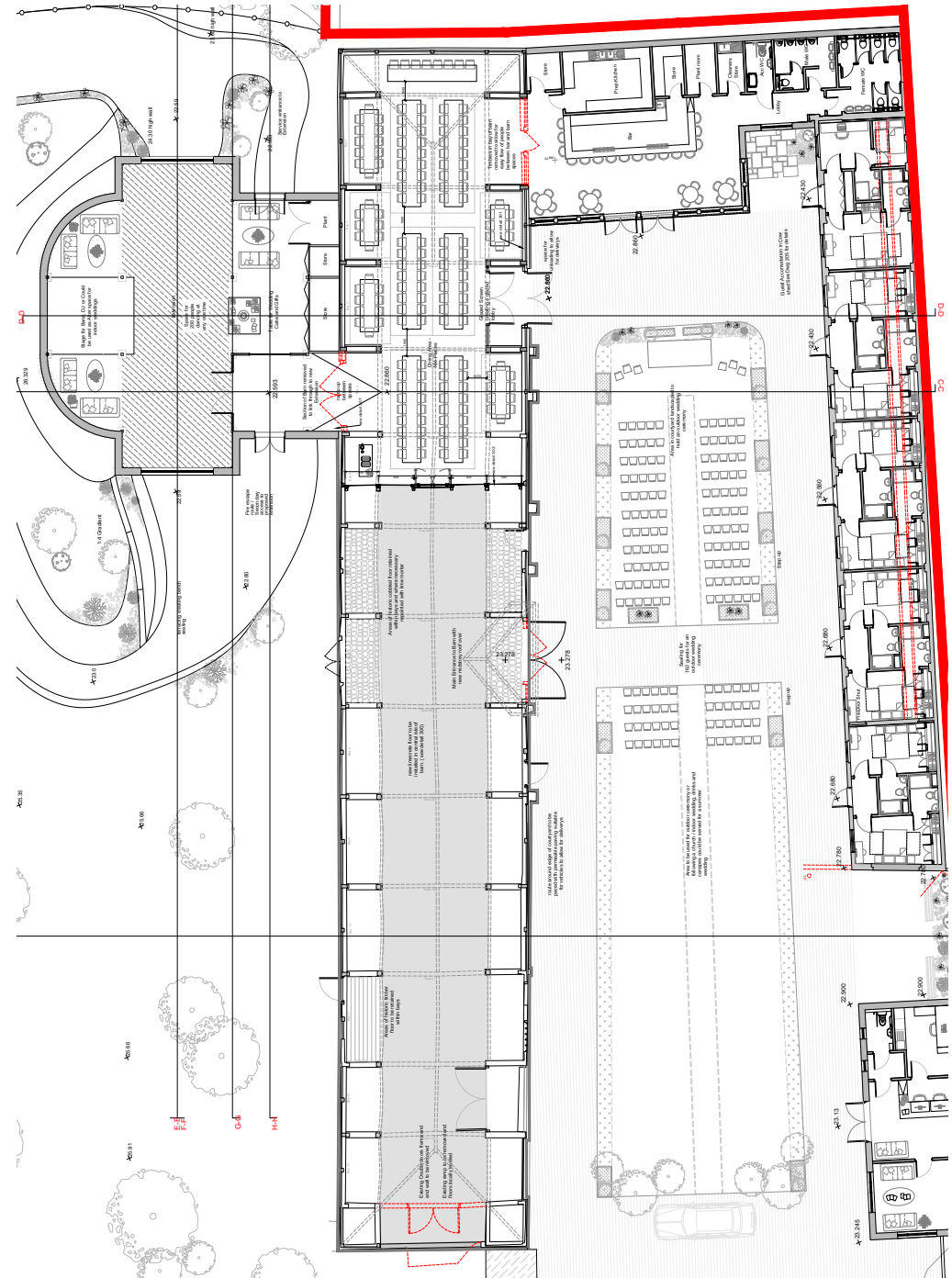


Figure 58 | Proposed Plans

### 8.33 Guest Accommodation (new build guest accommodation and bridal suite)

8.34 It is key to the appeal of the wedding venue site that a number of guests can be accommodated on site. The proposed guest accommodation and bridal suite will provide six rooms and a bridal suite. The rooms are proposed to appeal to different demographics and so are a mix of twin, double and family rooms along with a fully wheelchair accessible room. As wedding guests are often made up of family groups we have also included the option of interconnecting rooms so that larger family groups can stay together, so the rooms can either be family room sleeping three and a double room or booked as a group that sleeps five people. The family room is designed with a bath and a shower to make staying with young children easier.

8.35 The bridal suite could accommodate the bride and another the night before the wedding and has salon facilities if the bride has booked hair and makeup. The room is spacious so the entire bridal party would have enough space to get ready and there is a small kitchenette so drinks and food could be prepared.

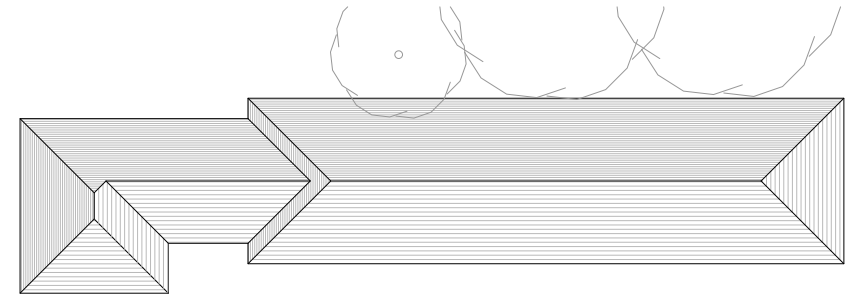
8.36 The aim is to provide a space that makes this venue stand out from the competition and can be used as a selling point for the wedding venue business.

8.37 The materials will mirror those of the barn and other ancillary buildings with a brick wall base and with timber cladding above and all the windows will be timber and have shutters taking reference from the barn in their form and detail.

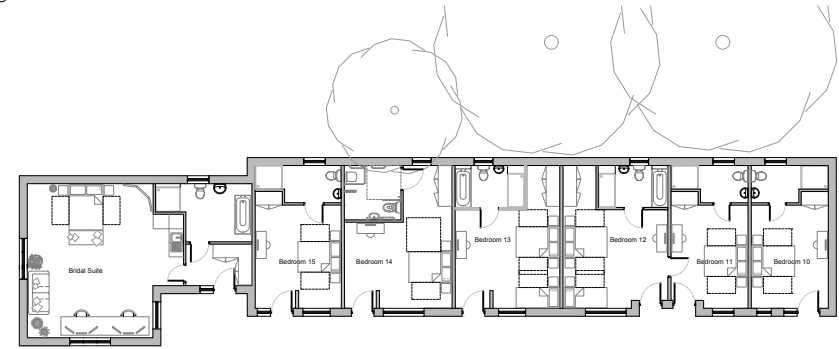
### 8.38 Reception Building (new build office and reception area)

8.39 The reception building is key to the running of the site as it will provide a space to greet potential clients before showing them the facilities. It will also provide office space for at least two staff members which will aid in the running of the business.

8.40 We think it is important when you enter the site that it is clear where the reception is so it acts as a sort of gate house for the farm site. The area is located immediately to the right as you enter the site and has an overhanging midstrete roof to draw people into the door. The building will be small and single storey and have a Kent peg roof with a hip on one side and half hip on the other. The materials will mirror those of the barn with a flint wall base with timber cladding above and all the windows will be timber and have shutters.



Proposed Roof Plan  
Scale 1:100 @ A1



Proposed Plan  
Scale 1:100 @ A1



Proposed Elevations  
Scale 1:100 @ A1



Figure 59 | Proposed accommodation building with bridal suite

## 8.41 Landscaping

### 8.42 Courtyard

8.43 The proposal for the landscaping in the courtyard makes use of a combination of local Kent Rag-stone and Bredon gravel to provide soft transitions between spaces and loosely planted low level planting to help to define the different uses.

8.44 This area is to be used to hold outdoor ceremonies in the summer and so needs to look appealing whilst also providing a practical access route for deliveries and other service vehicles. There is proposed to be a vehicle route around the perimeter of the courtyard separated from the central space by planting and a change in the materials underfoot.

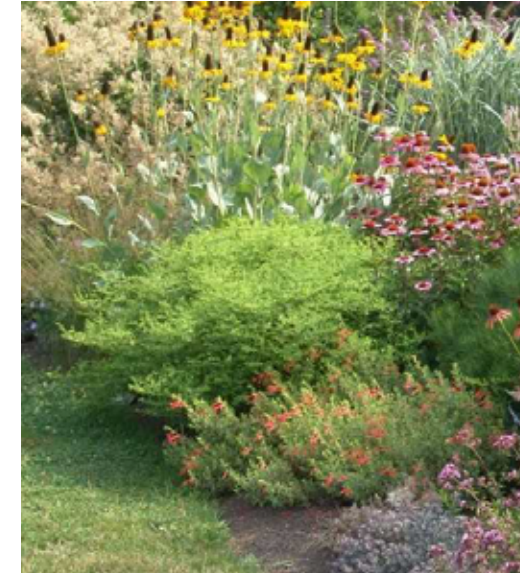
### 8.45 Extension and car parking

8.46 The car park covers the area to the west of the site and the landscape banks up to shield views of the new extension. Ornamental Trees will be planted throughout this area to soften the landscaping.

8.47 The car park needs to provide enough parking for any of the used of the barn site, including wedding, conferences, or craft fairs. The proposal has 71 car parking spaces plus 4 accessible space. It was important the car park was not visible from the long views of the barn and so the landscaping strategy has been carefully thought through to include the spaces begin on a lower level with banks surrounding the edges.

8.48 The entrance sequence for the barn guests was important to the design team and so it was important that the exit doors and path to the extension were secondary thus guiding the guests to enter through the courtyard space to experience the historic courtyard space.

8.49 The CGIs on the following pages illustrates the view from the path at the south of the barn and the long view from the footpath which intersects the land to the North of the barn. Natural planting, grass and small specimen trees will help to integrate the extension into its setting.



Figures 60| Landscaping Precedents



Figure 61 | Proposed Planting plan by Ares Landscape Architects Ltd

8.50 There are two exit paths from the one to the front is the primary exit for guest but also the area outside the door is landscaped to create terraced seating and creates a further mingling/outbreak area for guests. The earth will be banked around this area and planted with specimen shrubs and small trees to give it an intimate feel whilst acting to shield this space from the longer views. The path to the rear is a service entrance for the staff and will allow tables, chairs, music equipment to be delivered without interrupting the guest experience in the main barn.

8.51 The barn scheme extends to cover the land to the north up to where it meets Berwick way. This area is to be predominately left as open grassland with a species rich Grass seed mix on to the infiltration stripes. The roadway around the edge of the site to the car park will be lined in a row of *Quercus robur* 'Fastigiata' a thickly branching columnar oak tree which will give a grand entrance experience to visitors to the site and the current temporary access road will be re covered in self binding gravel with a rustic in appearance laid on top of type 1 compacted stone.

8.52 The landscape plan to the left prepared by Ares Landscape Architects Ltd shows the detailed planting strategy for the entire barn site.

8.53 Overall the landscaping strategy is soft and subtle. The aim is to keep the agricultural character of the historic farm site whilst making it a practical and pleasant guest experience.



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Figure 62 | Proposed CGI - View from the south



Figure 63 | Proposed CGI - view from public footpath

## 9.0 Ecology

9.1 There are no statutory or non-statutory designated sites of nature conservation value within or adjacent to the site boundary. The nearest designated site is Tower Hill to Cockham Wood Site of Special Scientific Interest (SSSI), which is approximately 300m to the east. For full Ecology report see document prepared by EAD Ecology which accompanies this application.

9.2 The barn provides a summer roosting site for low numbers of common pipistrelle and brown long-eared bats; there is no evidence to suggest the presence of a maternity roost for either species. Bats and their roosts are legally protected and brown long-eared bat is a Priority Species under the UK BAP. As such, any works to the barn would need to be carried out under a Natural England Mitigation License and design details will need to consider the bats. The proposals will use Type 1F felt on the roof rather than a breathable membrane to protect any bats.

## 10.0 Access

### 10.1 Highways

10.2 Manor Farm is accessed via Parsonage Lane/Upnor Road which forms the western and Southern border of the site. Parsonage Lane is accessed from Frindsbury Hill.

10.3 There are two existing field/farm access points to the site. The first is located off Frindsbury Hill, 150m west of the A228/A289 junction, opposite the access to a pub car park. The second is a left in/left out arrangement off Berwick Way, 150m south of the A228/A289 junction.

10.4 Frindsbury Hill is a single carriageway road with a 30mph speed limit, residential frontages, bus stops (in lay-bys), a toucan crossing, and a segregated cycle/footpath between the roundabout and toucan crossing. Berwick Way borders the north eastern edge of the site and connects two main roundabouts, one which leads to the Medway Tunnel towards Gillingham and the other near the north eastern corner of the site. Berwick Way is a wide dual carriageway with a 50mph speed limit and a segregated cycle/foot way on the west side of the road.

10.5 Planning consent for a temporary access junction and haul road from the A289 Berwick Way was granted under application MC/10/2068. However, this access is to facilitate the infilling of the quarry and is due to be replaced by a more permanent road as part of this proposal.

### 10.6 Public Transport

10.7 Along Frindsbury Hill, there is a bus service:

- 191 – Chatham Bus & Rail Stations to Grain
- 193 – Chatham Bus & Rail Stations to Cliffe (Sundays Only)
- 692 – Lower Stoke to Rochester Grammar Schools
- 693 – Lower Stoke to Rochester Grammar Schools
- 694 – Lower Stoke to Rochester Grammar Schools

10.8 Railway stations include Strood, Rochester, Chatham, and Gillingham, all located within four miles of the site, with Strood located closest to the site (approximately 1.3 miles away) and offering direct services to Gillingham, London Charing Cross, Maidstone West and Paddock Wood.

### 10.9 Footpaths & Cycleways

10.10 National Cycle Route 1 runs parallel to the southern boundary of the site along Upnor Road. The route runs in a south west to north east direction and links the site to both Strood and Rochester rail stations. The route is a mix of traffic-free routes including some forest tracks and paths alongside busy roads.

10.11 There are several local facilities within walking/cycling distance of the site which provide a wide range of services for everyday needs.

10.12 Two public rights of way cross the northern portion of the site in a north-south direction, connecting Frindsbury Hill to Berwick Way and Parsonage Lane. This footpath will be diverted around the top of the site to join Parsonage lane further along to the rear of the Manor House.



## **11.0 Conclusion**

11.1 Although the main part of this report is concerned with an analysis of Manor Barn itself, it must be considered in its context along with the rest of the site and associated buildings.

11.2 These buildings along with its neighbours were built together and form a significant landmark in terms of their historic and aesthetic values and any future development should respect their significance.

11.3 The analysis of the building fabric has demonstrated that the barn and cowshed have suffered a great loss of historic fabric. This is particularly the case at the west end of the barn where all the structure, cladding etc is new.

11.4 Proposals for future alterations need to address the importance of conserving the remaining historic fabric and also considering how best to make the spaces work feasibly as a modern wedding venue.

11.5 In particular, within the interior, of the barn and cow shed joinery details will be exposed where possible and new interventions should have minimum impact on the surviving fabric and respect the historic function and aesthetic of the 14th century buildings.

11.6 One area that needs careful attention is the proposed extension. Conversations throughout the design process with Historic England and Medway conservation officer has meant that the impact of extension has been limited and much of it will be hidden within the new landscaping allowing the grand historic barn to be the focal point in the landscape.

11.7 The proposals have been designed to protect and enhance the historic and aesthetic value of this Grade I listed buildings that together with the rest of the site form such a prominent feature in the locality. By updating the property in an appropriate way the building can be used and enjoyed thus safeguarding its future.

